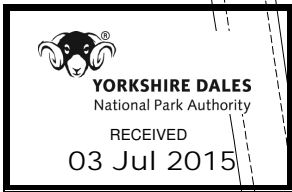


Abbe



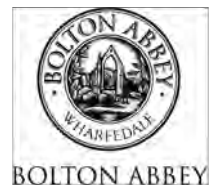
Location Plan - Appletree Cottage Bolton Abbey

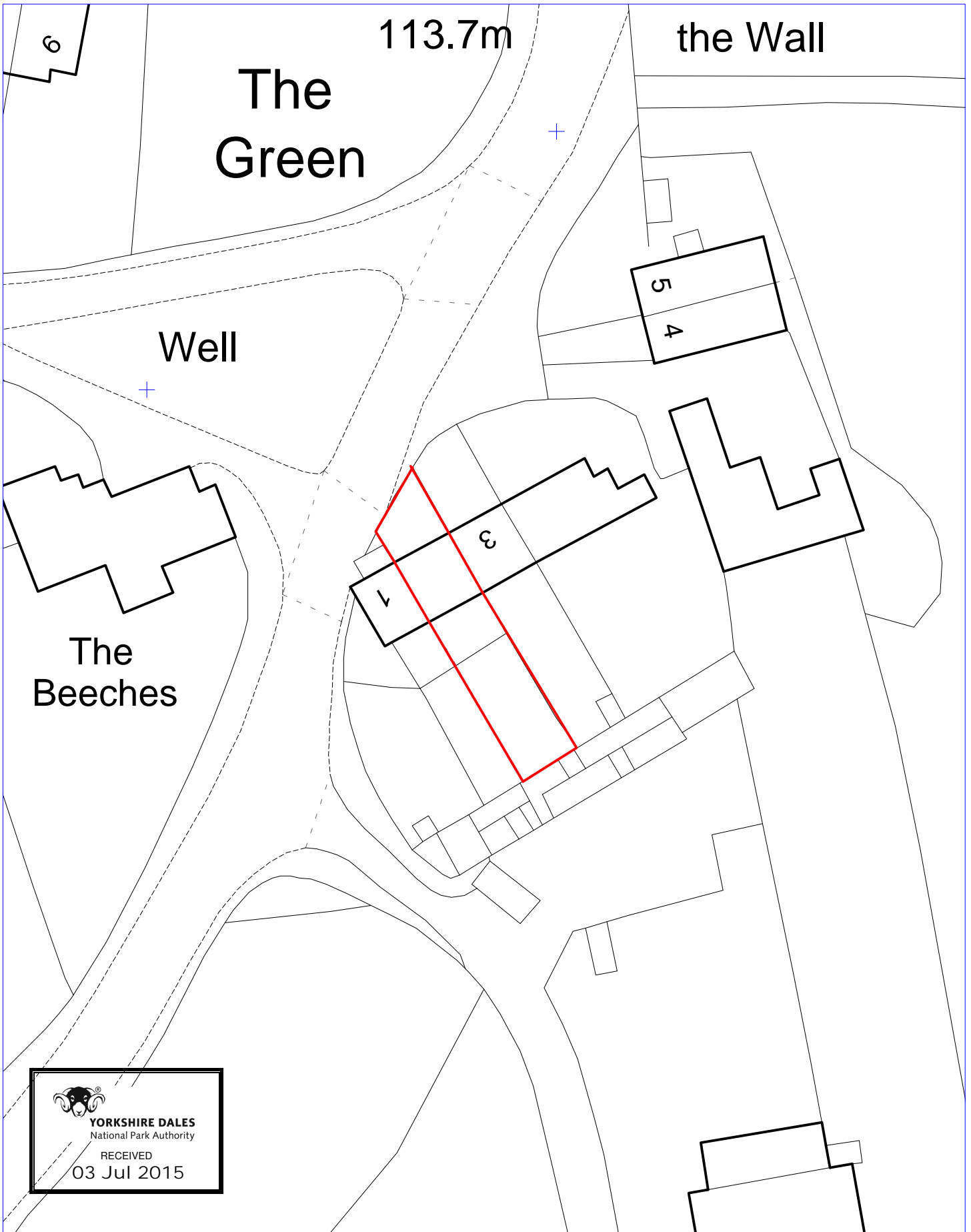
Scale 1:1,250 at A4

Date: June 2015

Drawn by: CW

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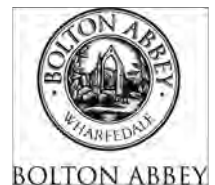
Block Plan - Appletree Cottage Bolton Abbey

Scale 1:500 at A4

Date: June 2015

Drawn by: CW

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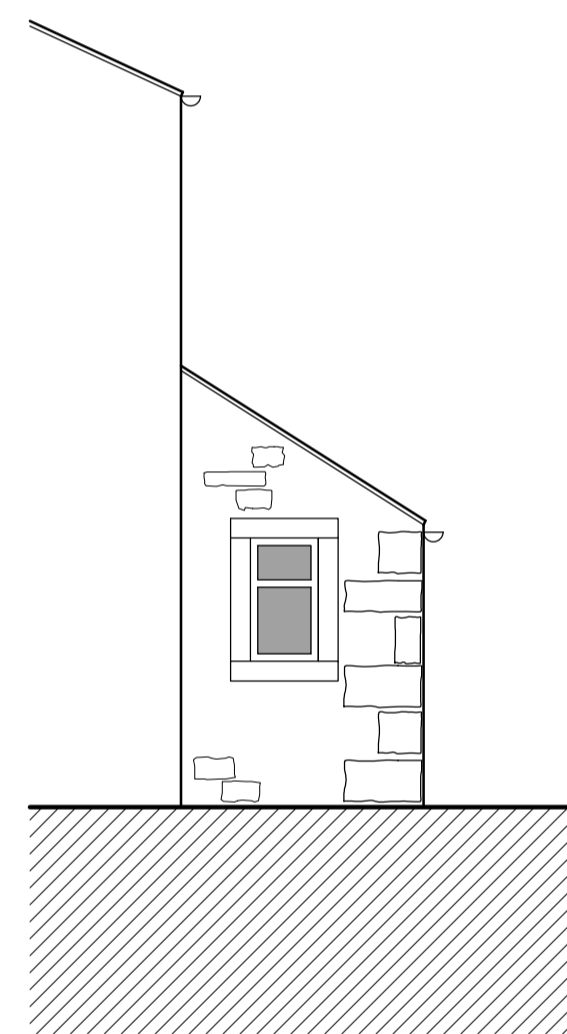
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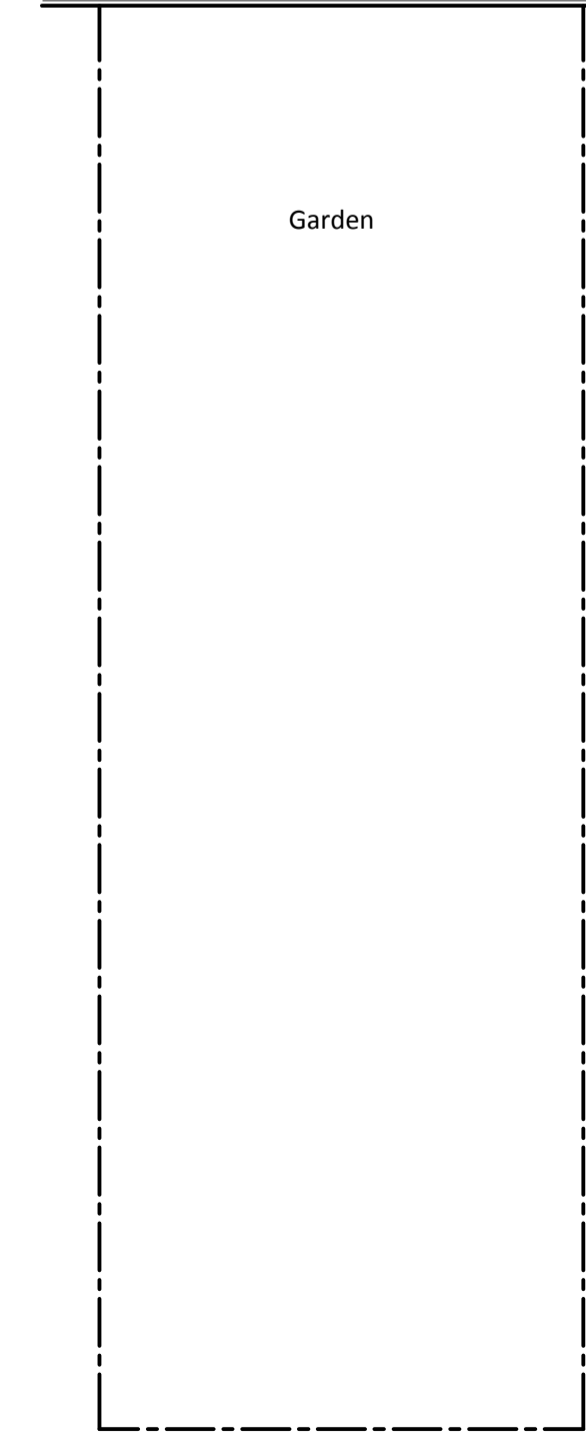
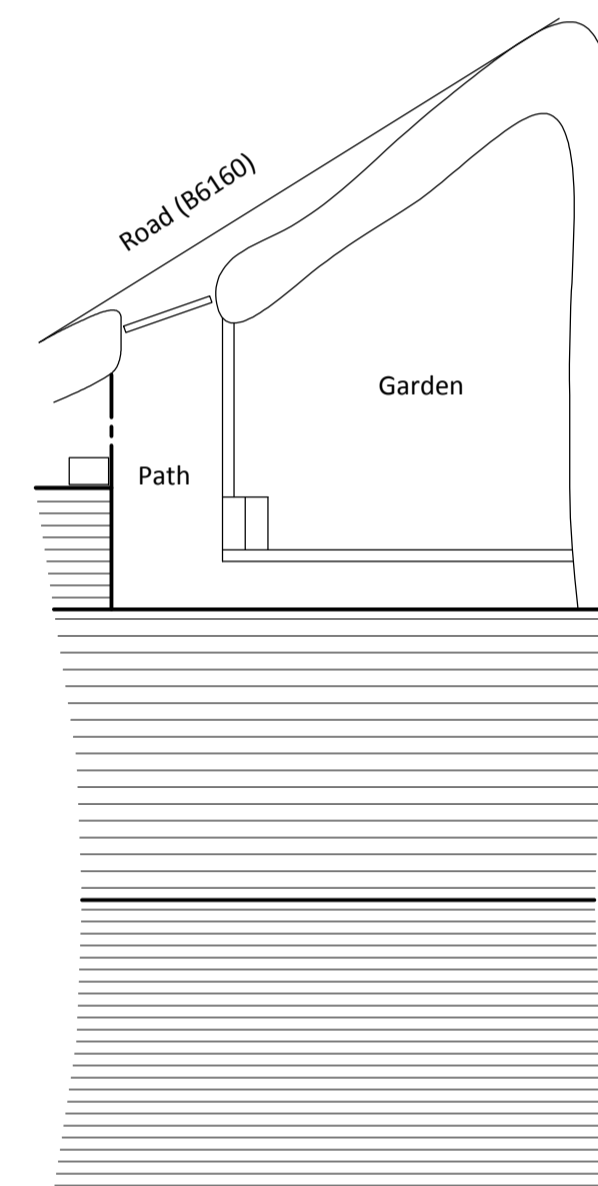
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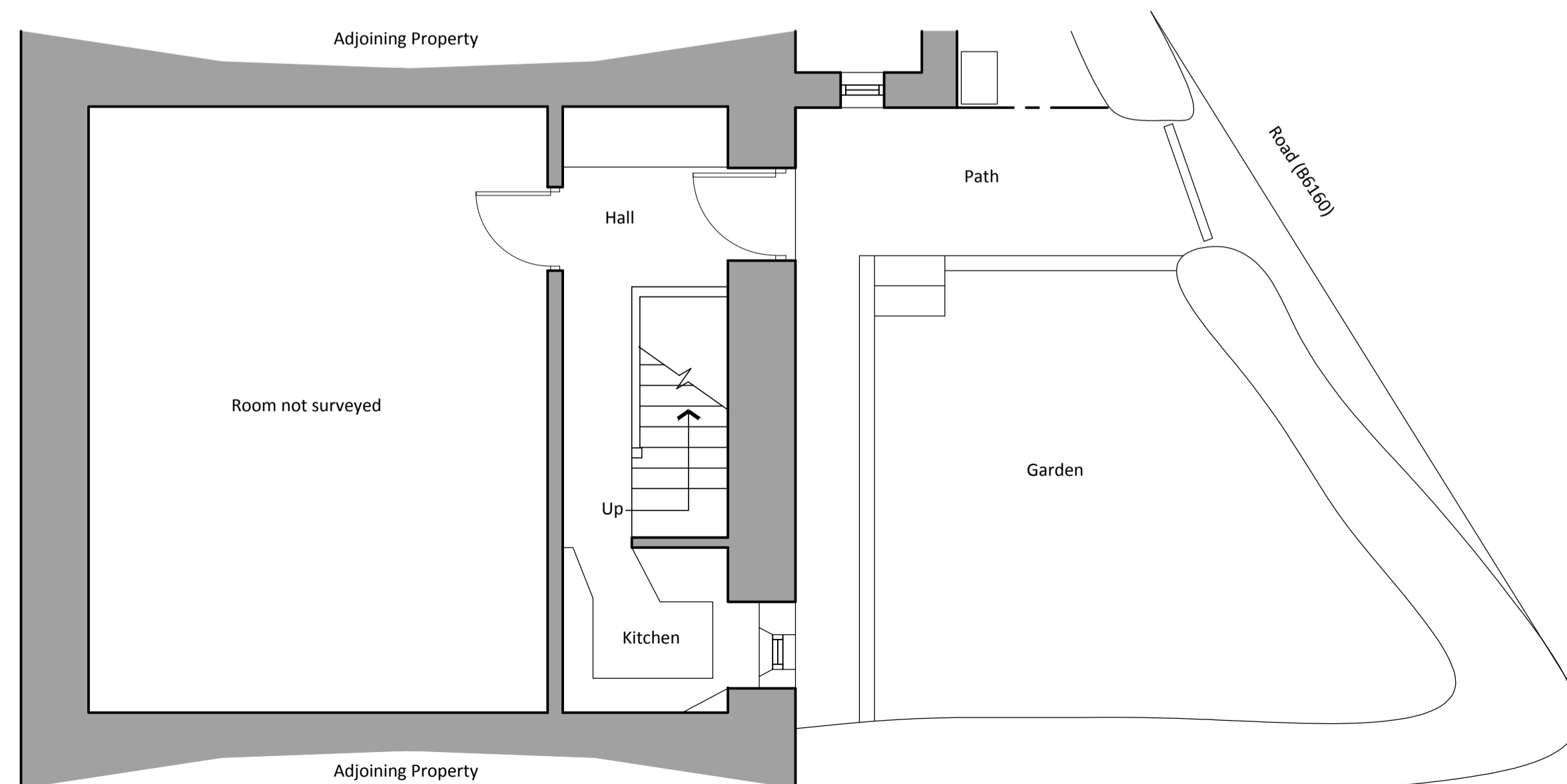
Front Elevation - 1:50



Side Elevation - 1:50



Site Layout - 1:100



Ground Floor Layout - 1:50

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- 13.06.2014 First Issue ob

Revisions

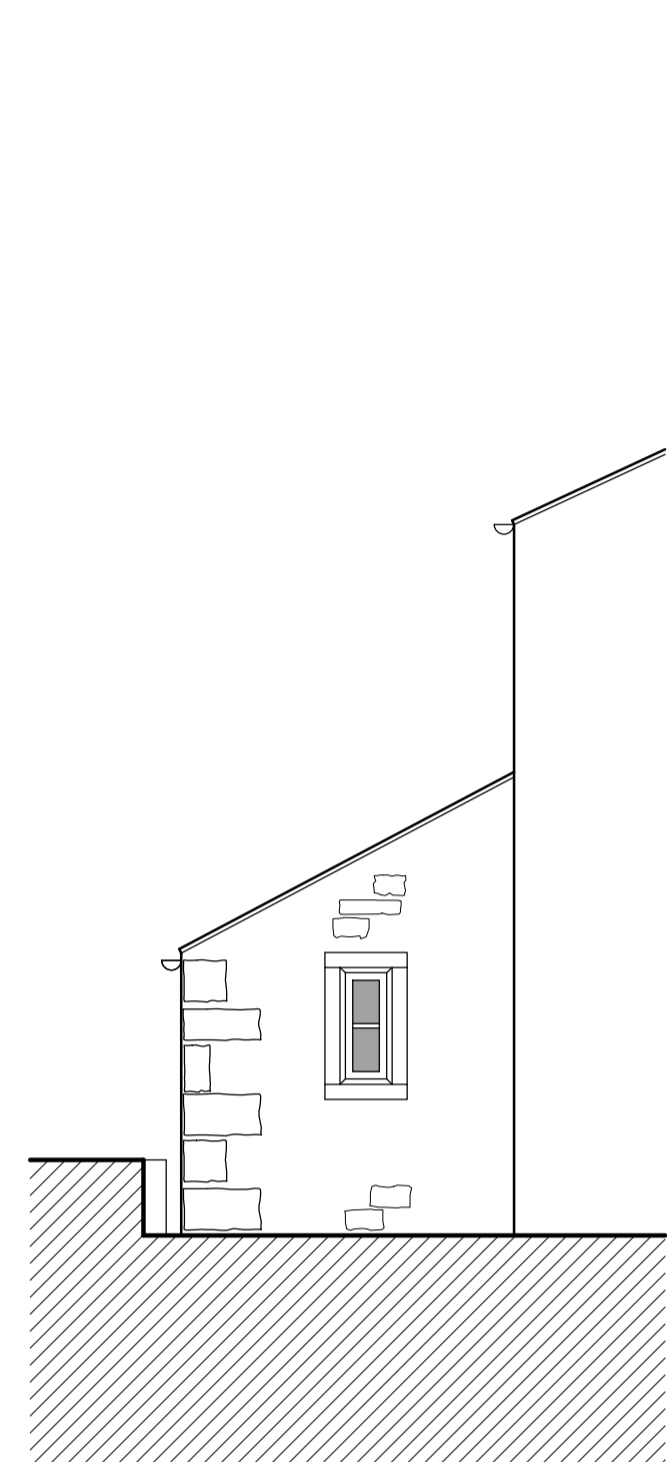
Existing Plans and Elevations

SCALE	DATE	JOB NO	DRG NO
As indicated @ A1	June 2014	OB211	100A

Appletree Cottage
Bolton Abbey
BD23 6EX



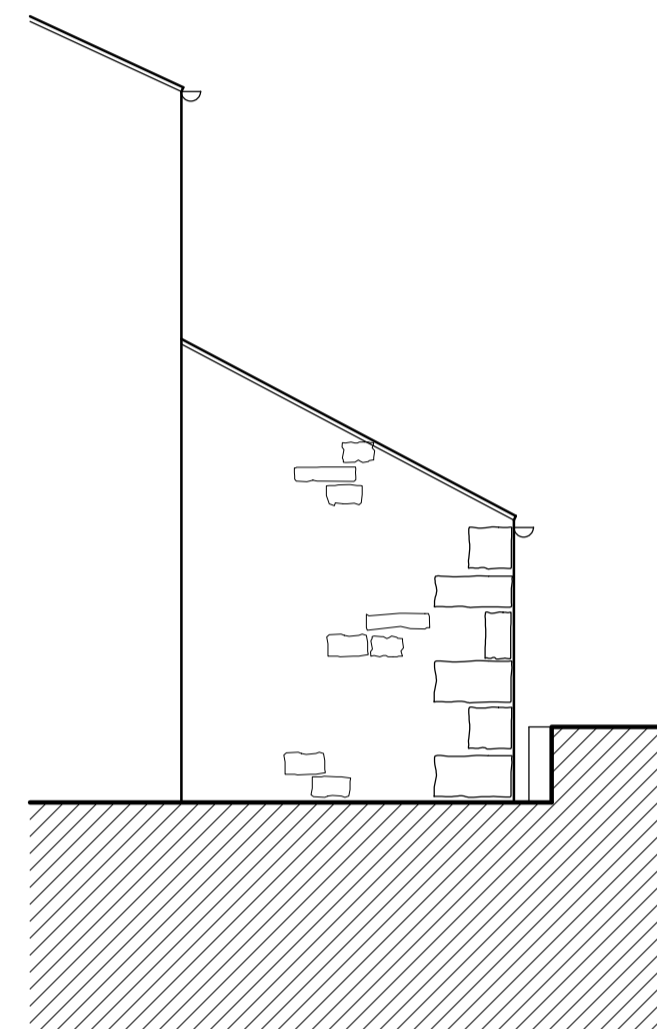
Farfield Farm
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07966875259
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barkeroliver@hotmail.com



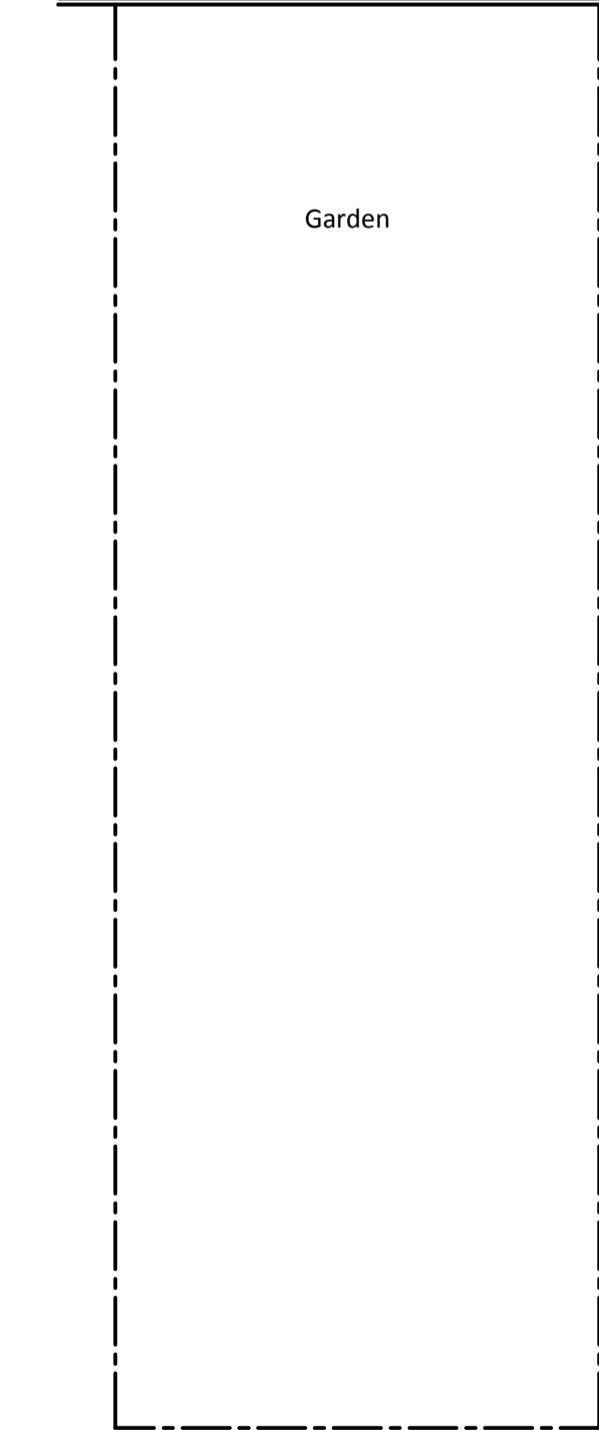
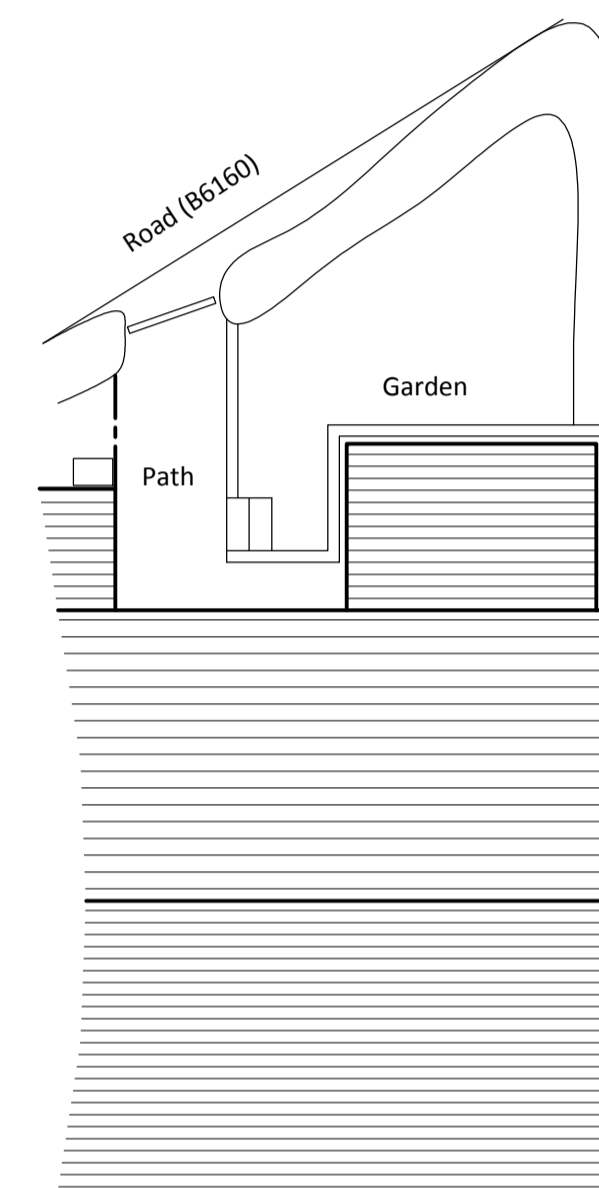
Side Elevation - 1:50



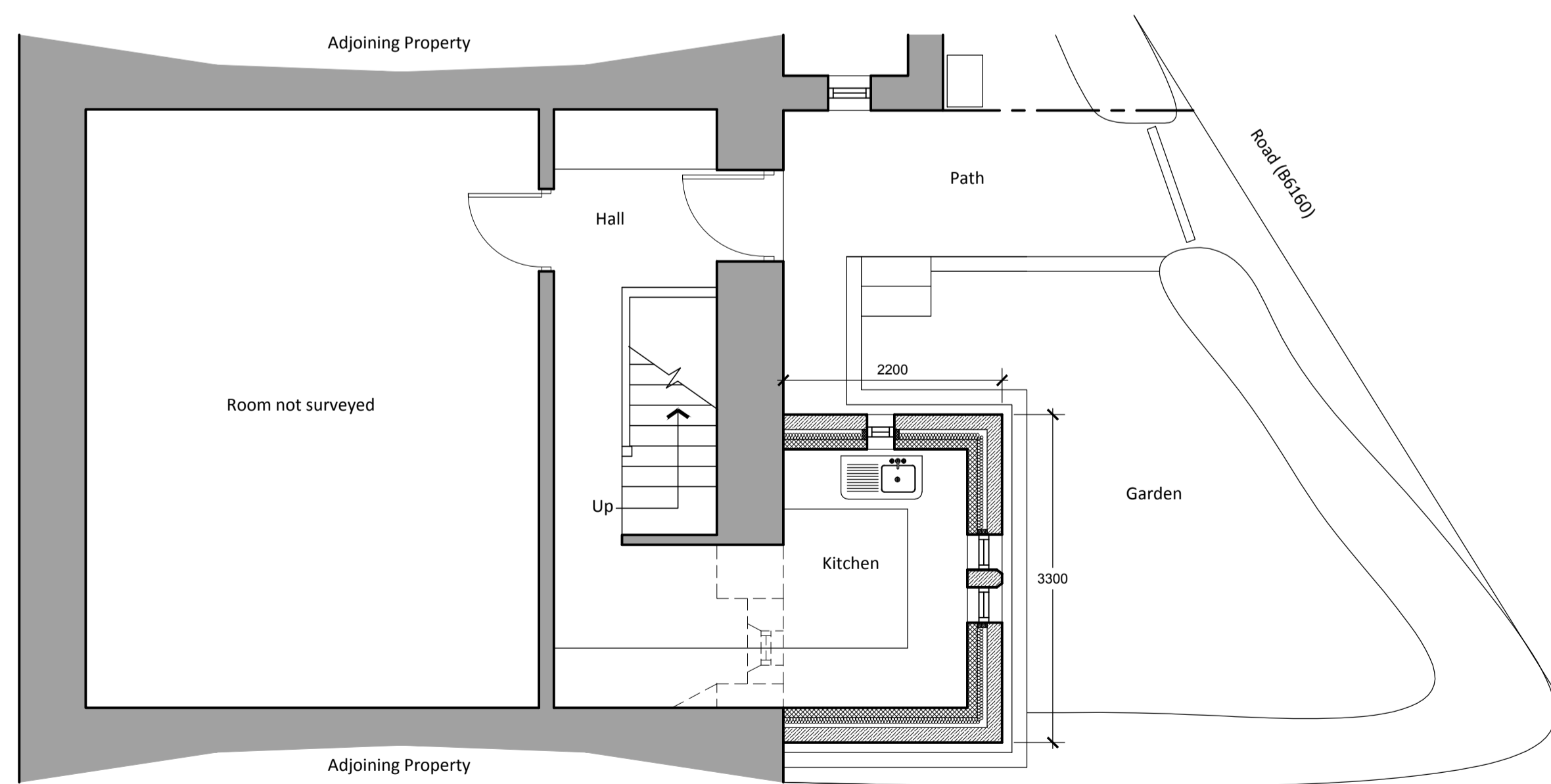
Front Elevation - 1:50



Side Elevation - 1:50



Site Layout - 1:100



Ground Floor Layout - 1:50

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Proposed Materials

- Walls - Stone to match existing
- Roof - Slates to match existing
- RWG - Plastic painted to match existing
- Door - Timber painted to match existing

- 13.06.2014 First Issue ob

Revisions

Proposed Plans and Elevations

SCALE	DATE	JOB NO	DRG NO
As indicated @ A1	June 2014	OB211	200B

Appletree Cottage
Bolton Abbey
BD23 6EX



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BUILDING REGULATION NOTES

All work to be in accordance with the relevant current Building Regulations, British Standards and Codes of Practice. DO NOT SCALE dimensions from the drawings. If in doubt, ask.

STRIP FOUNDATIONS

650 x 200 (external) thick concrete strip foundations to load bearing walls as shown. Designed concrete mix grade C20 (NHBC mix number 2). Min 750mm to underside. Actual depth of foundations to be verified on site to suit ground conditions with formations on suitable load bearing strata. Foundation level to be at or below invert of any drains passing under building. Steps in foundations to have suitable overlap.

DRAINAGE

Connect in to existing drainage systems using 100mm diameter PVC drains to BS 4660 except where indicated otherwise. All drainage including pipes, junctions to be from the Hepworth range or similar approved and laid in strict accordance with the manufacturers instructions and recommendations with pipes laid to a uniform fall of not less than Min 1:40 for 100mm dia drains and 1:60 for 150mm dia drains. min 1:80 for 100mm drains where serves 2 or more wc's.

Adequately protect existing live drains and maintain normal flow during construction. All drains passing through external walls to have 100mm deep concrete lintol over with all new drains to be tested in accordance with the Local Authority requirements

Contractor to investigate existing MH's, drainage runs, depths, falls etc and connect new pipework laid to correct falls into mains sewer.

INTERNAL PIPEWORK

Sanitary fitting waste sizes as follows:-

- WC - 100mm Ø
- Bath - 38mm Ø
- LB - 32mm Ø
- Bath & L.B's are to be fitted with 75mm deep seal anti vac traps and discharge into 100mm dia pvc svp system and boxed in with 38 x 38 softwood frame faced with 12mm plasterboard and skim

DRAINAGE KEY

----- Proposed foul water drain

DECORATION/FINISHES

PLASTER FINISH
10mm browning layer with key finish to be left to thoroughly dry out and 2.5mm plaster skim.

WALLS AND CEILINGS DECORATION

Walls and ceilings to receive one undercoat and two coats emulsion, colour to be specified by employer.

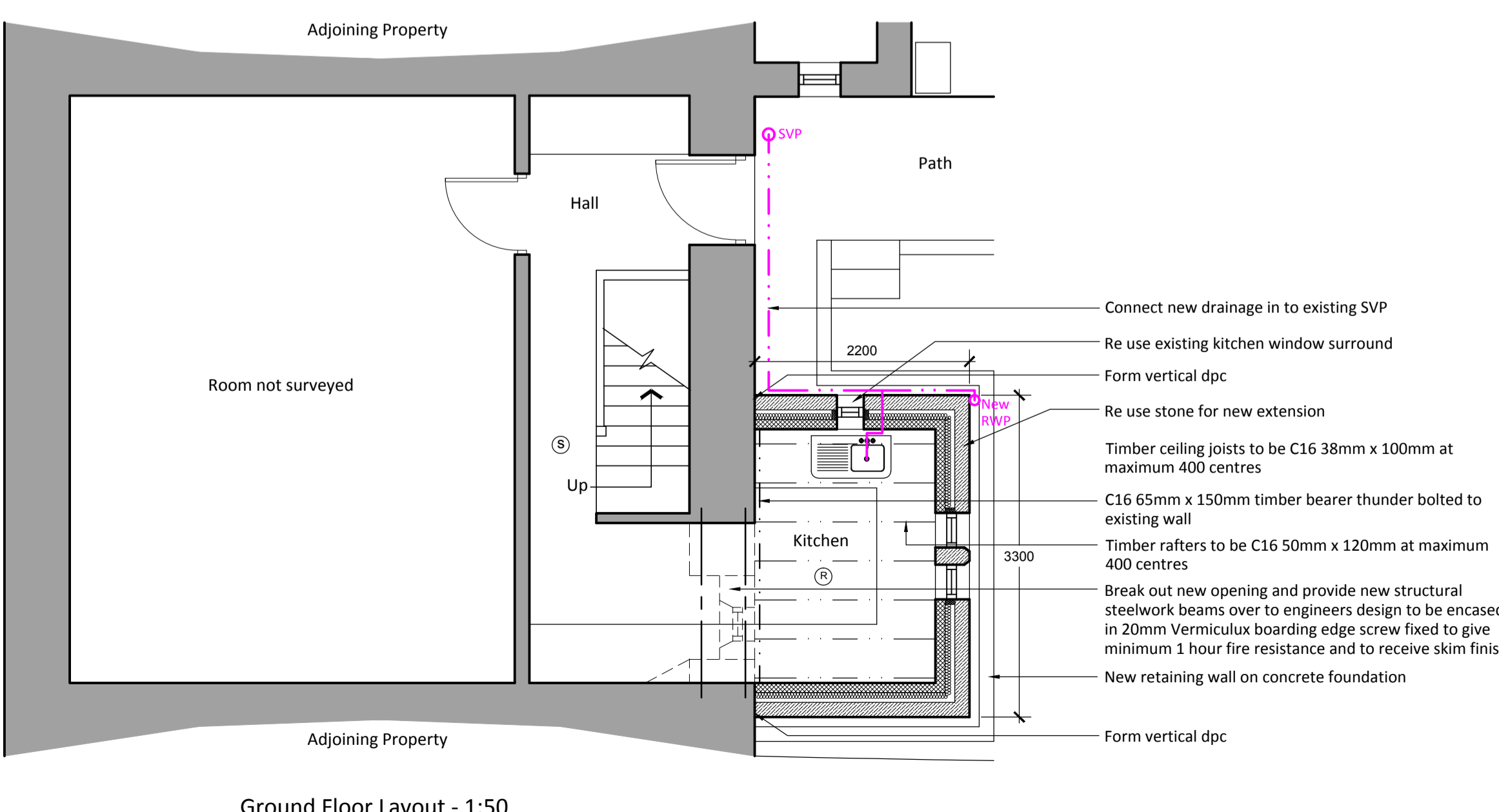
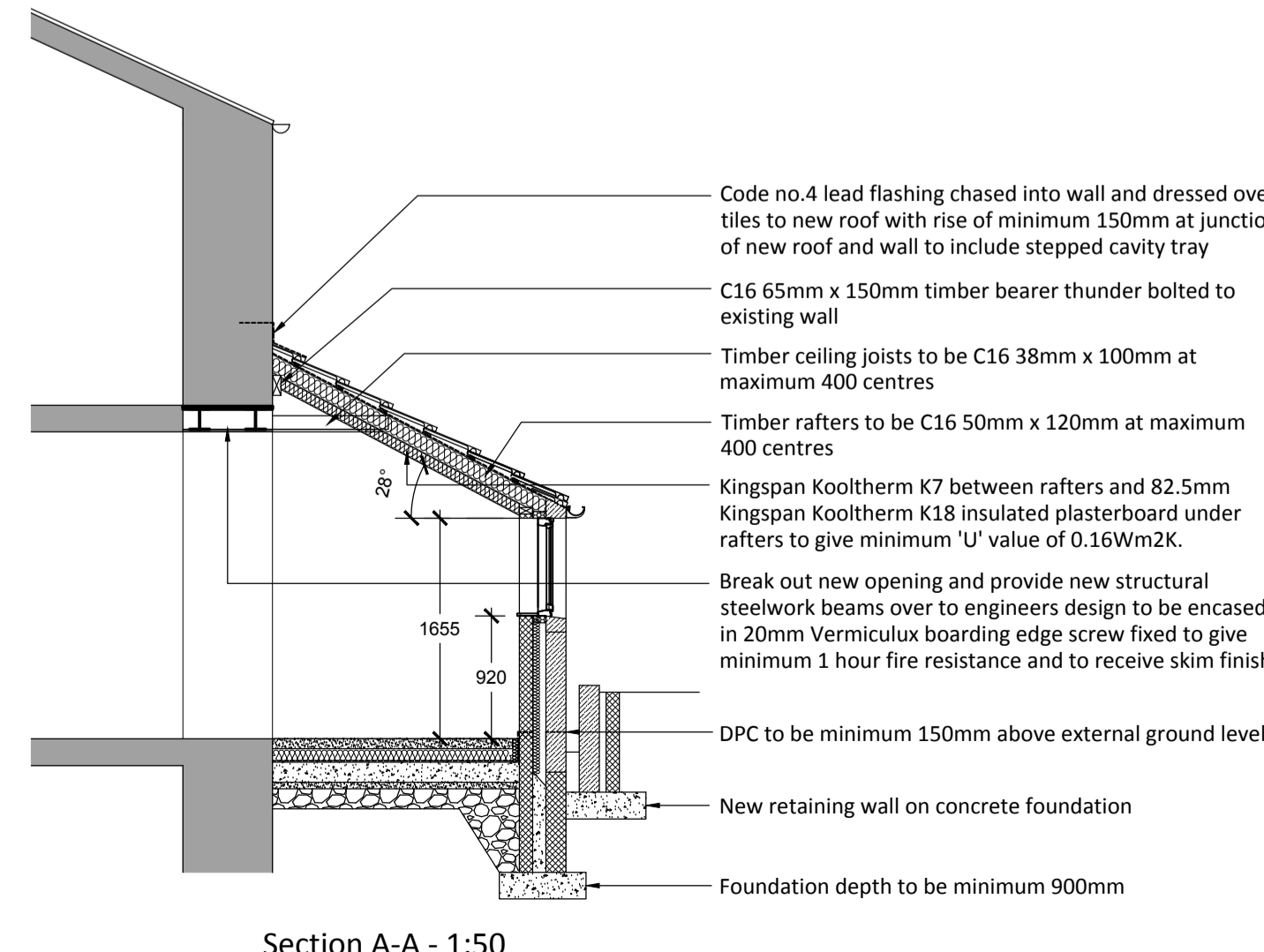
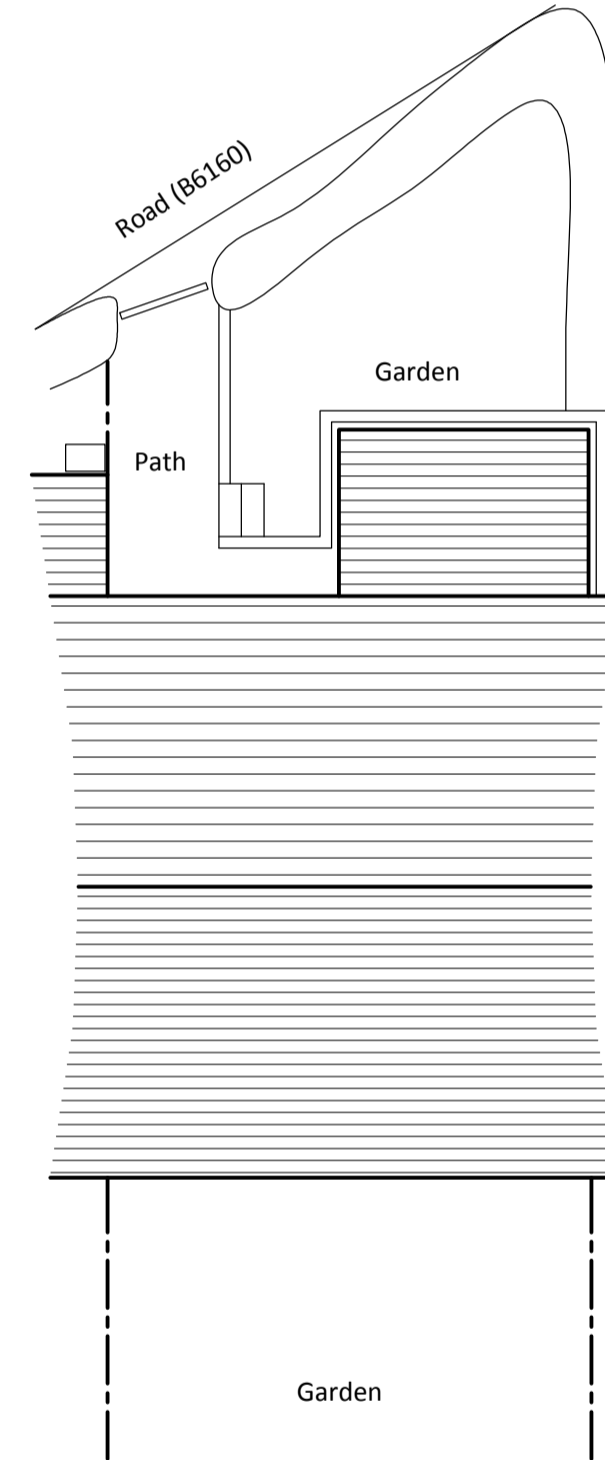
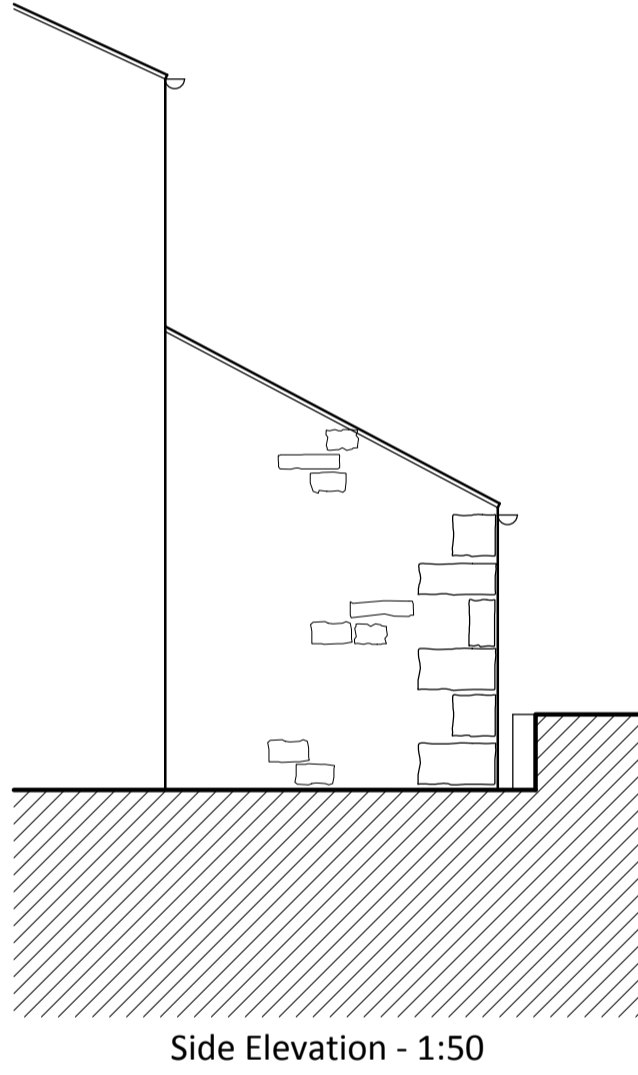
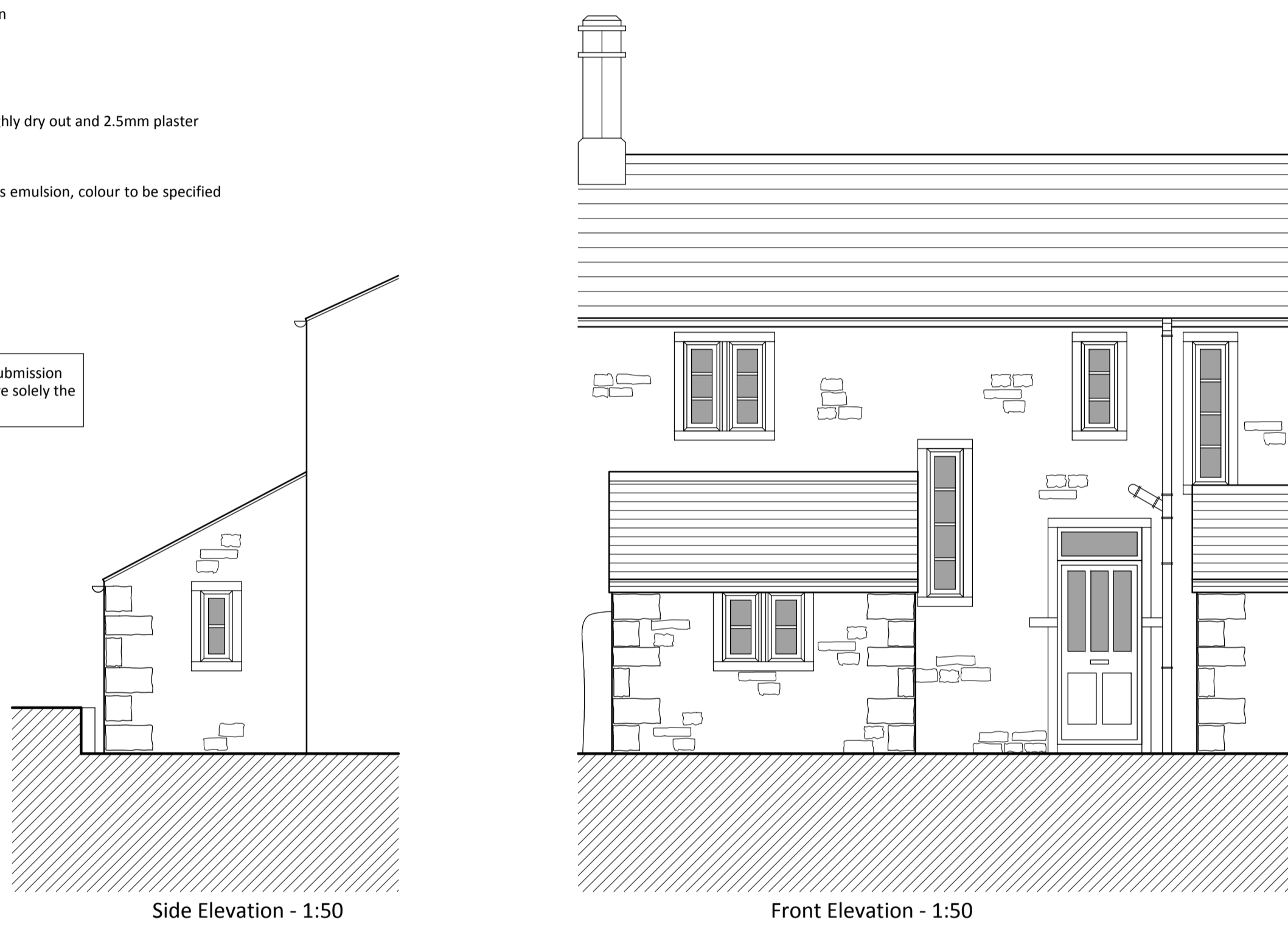
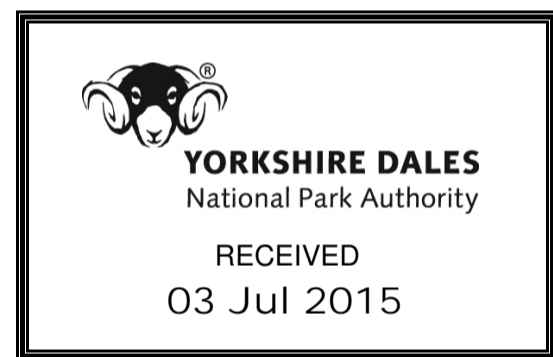
FLOOR FINISHES

To be confirmed by client

TILED WALLS

To be confirmed by client

This drawing has been prepared for Building Regulation submission only and therefore all forms of construction and details are solely the responsibility of the contractor



Ground Floor Layout - 1:50

Section A-A - 1:50

GROUND FLOOR CONSTRUCTION

75mm sand/cement screed on 100mm Kingspan Kooltherm K3 insulation board to give minimum 'U' value of 0.20Wm2K on 150mm thick reinforced concrete slab on polythene vapour barrier on 1200 gauge visqueen dpm to link into dpc on 50mm thick sand blinding on 150mm thick well consolidated hardcore.

STEEL BEAMS

Steel beams to engineers specification. Encase beam in 20mm Vermiculux boarding edge screw fixed to give minimum 1 hour fire resistance and to receive skim finish

TIMBER WINDOWS

Timber windows to match existing with 24mm sealed unit double glazing, incorporating a 16mm air gap and low emissivity glass of emissivity 0.15 having a U value of 1.50.

Windows are to comply with the following British Standards:-

- Draught stripping to opening lights. Profile - BS 7413
- Security - BS 7850 (PAS 011)
- Weather tightness - BS 6375 Pt. 1 1989
- Sealed Units - BS 5713
- Impact Strength - BS 2782Pt. 3 Method 359

Windows to incorporate trickle ventilators :
Habitable rooms 800mm²
Kitchen Bathroom and Sanitary Accommodation 4000mm²
Opening lights to all rooms (except WC). Min 1/20th of floor area in habitable rooms.

SAFETY GLAZING

Critical locations to be laminated safety glass complying with BS 6206. Glass to be kite marked. Any glazing to a window below a height of 900mm or to a door or screen below a height of 1500mm (both measured from the finished floor level) is to be safety glass as approved under the Building Regulations part N1.

ESCAPE WINDOWS

All ground and first floor windows serving habitable rooms to provide means of escape in case of fire. Unobstructed opening area min 0.33m². Min vertical and horizontal dimensions 750mm x 450mm. Bottom of opening max 1100 min 800mm above floor level. All windows to ground floor and windows above porches to having key locking mechanism

ELECTRICAL INSTALLATION GENERALLY

All electrical work required to meet Part P (electrical and safety) must be designed, installed, inspected and tested to BS7671:2001 by a person competent to do so.

Liaise with the Electricity Supply Company as necessary to ensure suitability of supply and earthing arrangement, and to ensure connection when required. Install, test and commission the electrical work in accordance with BS 7671:2001 (The IEE Wiring Regulations) and requirements of the Electricity Supply Company to provide a safe, well insulated, earth protected system capable of supplying the anticipated maximum demand. Installation work to be carried out by qualified electricians fully conversant with the IEE Wiring Regulations. Accessories necessary to complete the installation to be types recommended for the purpose by relevant equipment manufacturer. In locations where moisture is present or may occur, use corrosion resisting fastenings and avoid contact between dissimilar metals.

A competent electrician or a member of a competent person scheme must test and certify all such works. The electrician must provide signed copies of an electrical installation certificate conforming to BS 7671 for the owner of the property and a copy must be forwarded to the Building Control surveyor for approval at completion, so the Building Control completion certificate can be issued. All switches and sockets including the consumer unit, ventilation & service controls etc, should be fixed between 450-1200mm above floor level. Accessible consumer units should be fitted with a child proof cover or installed in a lockable cupboard.

ENERGY EFFICIENT LIGHTING

Energy efficient lighting @ 1 No / 25m² of floor area
Energy efficient lighting
Fixed internal & external energy efficient lighting systems to be provided in compliance with paragraph 4.13 of ADL1A as follows:
Fixed internal lighting
Fixed internal energy efficient lighting in new dwelling will be at least 75% of all the fixed low energy light fittings (fixed lights or lighting units) in the main dwelling spaces (excluding cupboards & storage areas), fitted with lamps which must have a luminous efficiency greater than 40 lumens per circuit-watt and a total output greater than 400 lamp lumens. (note: light fittings with less than 5 circuit-watts are excluded)
Fixed external lighting
Fixed external energy efficient lighting in new dwelling will consist of either:
(i) Lamp capacity not greater than 100 lamp-watts per light fitting and fitted with automatic movement detecting control devices (PIR) and automatic daylight cut-off sensors; or
(ii) Lamp efficacy greater than 45 lumens per circuit-

SWITCHES

Accessible switches and socket outlets in habitable rooms to be between 0.45 and 1.2m above finished floor level.

TERMINATIONS

All new terminations to be supplied by the contractor as clients electrical layout drawing. All downlighters to be provided with fire hoods to building control approval

SMOKE DETECTORS

Fire alarm system in accordance with the relevant recommendations of BS 5839-6 :2004 to at least a grade A category LD2 standard

Install mains operated self contained smoke detectors conforming to BS 5839: Part 6:2004. Min one detector per floor and to be within 3 meters of bedrooms. Detectors to be interconnected. Wire to separately fused circuit at distribution board and include a standby power supply

RATE OF RISE DETECTORS

Install mains operated rate of rise detectors. Detectors to be interconnected and wired to separately fused circuit at distribution board. Certification is required for the design, installation and testing of the system prior to completion

MECHANICAL EXTRACTION VENTILATION RATES

Mechanical extract ventilation to external air to be provided as follows

- Kitchen** - via cooker hood giving either 30 l/s adjacent to hood minimum intermittent extraction rate or 13 l/s minimum continuous extraction rate
- Bathroom** -15 l/s minimum intermittent extraction rate or 8 l/s minimum continuous extraction rate
- Sanitary accommodation** -6 l/s minimum intermittent extraction rate or 6 l/s minimum continuous extraction rate

HEATING GENERALLY

Install and balance the system so that it complies with the water supply byelaws and is safe, efficient, free from leaks, excessive noise and vibration. All installation work to be carried out by qualified fitters. Electrical work in connection with the installation must be in accordance with BS 7671 (The IEE Wiring Regulations). In locations where moisture is present or may occur, use corrosion resistant fittings/fixings and avoid contact between dissimilar metals by use of suitable washers, etc. All equipment, pipework, components, valves, etc. to be fully accessible for maintenance, repair or replacement. Installation to be self purging and free draining with vents provided at high points and draining taps at low points.

LPHW RADIATORS

Low pressure hot water system with steel paneled radiators.

HEATING CONTROL

Thermostatic radiator valves or room thermostats, where applicable

NOTE

Commissioning certificate for the heating and hot water system to be made available at completion to enable the systems are set up to work efficiently.

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